



## **ADDITIONS**

### Building and Zoning Requirements

#### **Permit Submittal Checklist**

- Signed completed Building Permit Application form.
- Certificate of Survey, drawn to scale indicating the lot dimensions, the location and ground coverage area of existing structure(s), and the location and area of the proposed structure. Indicate the setbacks from property lines and other buildings on lot. A Certificate of Survey for the property may be on file at City Hall.
- Plans showing proposed designs and materials. Plans shall be drawn to scale and include the following information:
  1. A foundation plan indicating the following:
    - Size and type of foundation
    - Proposed addition size
    - Size of beams and headers
    - Size and spacing of floor joists
  2. A floor plan indicating the following (may be incorporated into foundation plan):
    - All rooms labeled as to use
    - Direction and spacing of floor joists and/or roof trusses.
  3. A cross section view indicating the following:
    - Size and type of footings and foundation
    - Floor joist size and spacing
    - Flooring material
    - Ceiling height
    - Type(s) of sheathing and siding
    - Type and R-value of roof, wall, floor and foundation insulation
    - Size and spacing of roof rafters and pitch of roof
  4. Elevations indicating the following:
    - Height of structure from established grade
    - Type of roof covering material
    - Type of siding material

Attaches are example of drawings which are intended as a **GUIDE ONLY!!**

#### **General Building Code and Zoning Requirements**

- Post and spread footings shall be designed and constructed below the minimum frost depth of 42 inches and shall be sized to carry the applicable roof and floor loads.
- Minimum 6 inches of fall from the foundation wall within the first 10 feet for drainage. Surface drainage shall be directed to swales or drains to keep water away from the structure. Swales within 10 feet of the structure shall have a minimum 2 percent slope. Impervious surfaces within 10 feet shall slope away at minimum 2 percent.

- Sill plates shall be anchored to foundation with ½ inch minimum anchor bolts in line with required reinforcing, embedded a minimum 7 inches into foundation. Minimum 2 bolts per plate section with one bolt located not more than 12 inches from each end of the plate section.
- Approved wood of natural resistance to decay or treated wood shall be used for sills or plates that rest on masonry/concrete foundations within 8 inches of finished grade, for joists within 18 inches and beams within 12 inches of the ground.
- Foundations shall extend a minimum of 4 inches above grade when a masonry veneer is used and a minimum of 6 inches elsewhere.
- Exterior foundation walls that retain earth and enclosed interior spaces and floors below grade shall be waterproofed.
- Drains shall be provided around all concrete and masonry foundations that retain earth and enclose habitable or usable spaces located below grade. Drain tiles shall be drained to daylight or to an interior sump basket and pumped to the exterior.
- Energy code items: (i.e. wall insulation, vapor barriers, sealed boxes)
  - Minimum R-values for insulation (Table R401.1.1)
    - Walls: R-20
    - Floors over unconditioned space: R-30
    - Attics: R-49
    - Foundation wall: R-15
- Must provide a Class I or II vapor retarder on the interior side of framed walls before gypsum is applied, and a weather resistive barrier over the sheeting before the siding is applied.
- Basements with habitable space and every sleeping room shall be provided with an escape and rescue window having:
  - A minimum net clear openable area of not less than 5.7 square feet
  - A minimum net clear opening height dimension of 24 inches
  - A minimum net clear opening width dimension of 20 inches
  - A finished sill height of not more than 44 inches above the floor
- Escape and rescue windows with a finished sill height below the adjacent ground level elevation shall have a window well.
  - Clear horizontal dimensions shall have a minimum net clear opening of 9 square feet with a minimum dimension of 36 inches in each direction
  - Window wells with a vertical depth of more than 44 inches shall be equipped with an permanently affixed ladder that shall not encroach into the required window well dimensions by more than 6 inches
- Tempered glass shall be provided in hazardous locations as required by code.
- Cantilevered floors of the house shall not support porch construction without special structural design.
- Roof rafters without ceiling joists must be provided with collar ties further up connecting the rafters or the rafters shall be connected to a ridge beam supported by a wall or girder truss.
- Minimum 22 inch by 30 inch access required to all attics with head room of 30 inches or more and at least 30 square feet of area
- Attic ventilation shall be installed at a minimum of 1 square foot per 150 square feet of vented space
  - Exception: minimum of 1 square foot per 300 square feet of vented space provided that the following conditions are met:
    - A class I or II vapor retarder is installed on the warm-in-winter side of the ceiling
    - At least 40 percent and not more than 50 percent is provided by ventilators located in the upper portion of the attic or rafter space and are located no more than 3 feet below the ridge or highest point of the space measured vertically. The balance of the ventilation must be located in the bottom ⅓ of the attic
- Stairs shall have a minimum tread depth of 10 inches and a maximum riser height of 7 ¾ inches. The risers and treads shall be uniform within ⅜ inch from the largest to the smallest of each. The minimum stair width is 36 inches.

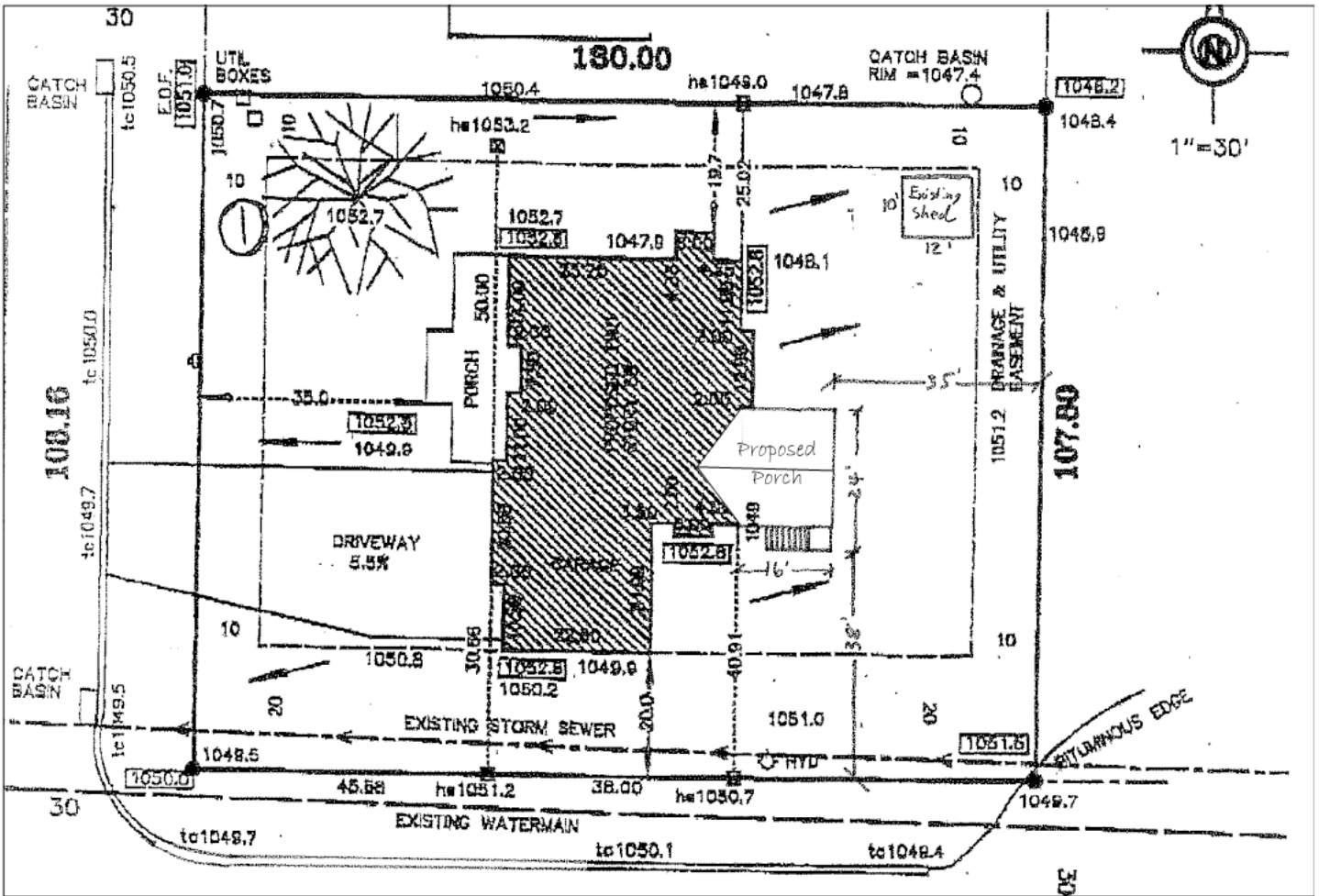
- Open side(s) of stairways more than 30 inches above the floor shall be provided with a guardrail having rails spaced to resist the passage of a 4 3/8 inch sphere
- Continuous handrails are required for 4 or more stair risers. Handrails shall be 34 to 38 inches above the tread nosing. The handgrip portion of handrails shall be 1 1/4 to 2 inch wide and in a shape that is easy to grip firmly.
- The ends of the handrail shall be returned to posts to avoid the possibility of catching loose clothing.
- Smoke alarms shall be hardwired and interconnected with battery backup and installed in the following locations:
  - Inside each sleeping room
  - Outside each sleeping room in the immediate vicinity of the sleeping rooms
  - One per floor if no sleeping rooms are provided on that floor.
- Carbon Monoxide alarms may be a combination type with a smoke alarm.
  - Within 10 feet of each sleeping room
  - May be outlet or battery powered.
- Step and kickout flashing shall be installed where roofs intersect with vertical wall surfaces.
- Fireplaces shall be installed per manufacturers specifications and the install manual shall be available onsite during inspections.
- Fasteners for pressure preservative treated wood shall be of hot-dip zinc-coated galvanized steel, stainless steel, silicon bronze or copper. The coating weights for zinc-coated fasteners shall be in accordance with ASTM A 153.
- Additions are subject to the setback requirement for principal structures in the district in which they are located.

#### **Required Inspections:**

1. **Footings:** **PRIOR TO POURING CONCRETE**
2. **Foundation:** Prior to backfill
3. **Electrical Rough in:** With all joints made up and ready for the installation of the switch or outlet. Separate permit required.
4. **Framing/Mechanical Rough-in/Plumbing Rough-in:** After all framing and rough ins are complete and electrical rough in has passed.
5. **Insulation:** After framing inspection signed off.
6. **Electrical Final:**
7. **Final:** When the structure has been completed and electrical final has passed.

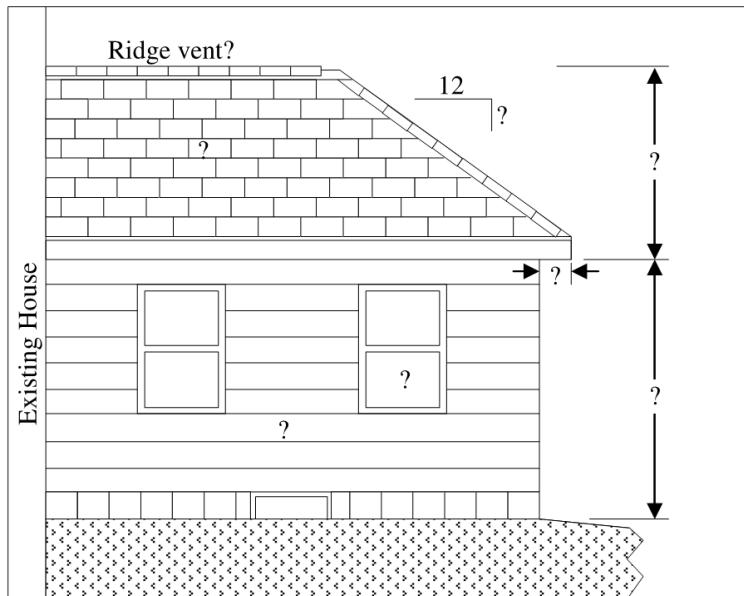
#### **General Notes**

- This handout lists general code requirements relative to porch construction. Feel free to contact the Building Inspections Department at 952-758-4401 or stop in our office Monday through Friday from 8:00 am to 4:30 pm with specific questions about your project.
- The stamped, approved Plan and Survey shall be kept on the jobsite and readily available until the final inspection has been made.
- The Inspection Record Card shall be placed on an exterior wall of the porch and shall remain posted until the final inspection has been made. Cards should be protected from the weather.
- Call 952-758-1138 between 8:00 A.M. and 4:30 P.M. to schedule an inspection. Provide at least 24-hour advance notice and permit number at time of scheduling.



### Sample Survey

- Draw addition on survey to scale with dimensions showing proposed size and setbacks property lines.
- Property pins should be located by owner if needed to verify setbacks.
- Show all existing structures, including pools and sheds.
  1. All detached accessory buildings 120 square feet or less shall be set back at least 6 feet from any other building or structure on the same lot and shall not be located within a required buffer yard, drainage and/or utility easement.
  2. All detached accessor buildings in excess of 120 square feet shall be set back at least 10 feet from any other building or structure on the same lot and shall not be located within a required buffer yard, drainage and/or utility easement.
  3. In all residential districts, swimming pools and any attached or functionally related deck that is more than 30 inches above grade shall be set back 10 feet from all adjoining lots and, except for fences and pump enclosures, shall be located at least 10 feet from any other building or structure on the same lot and shall not be located within a required buffer yard, drainage and/or utility easement.



## Elevations

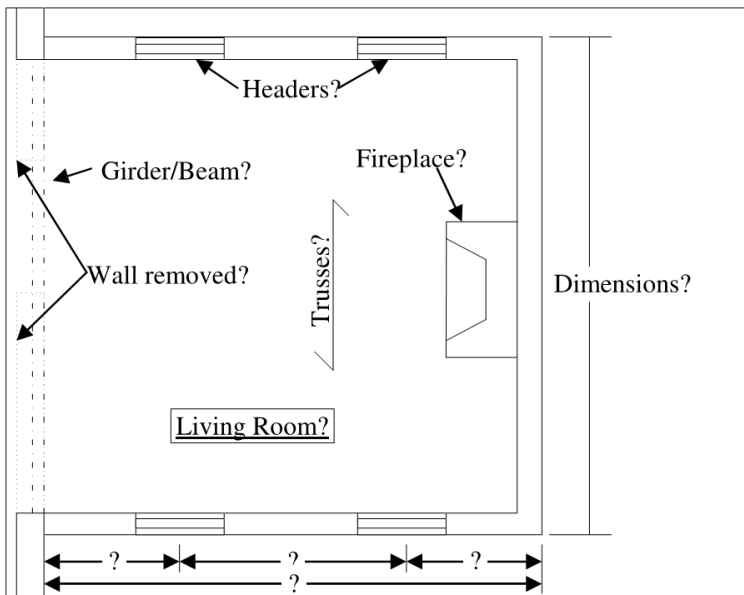
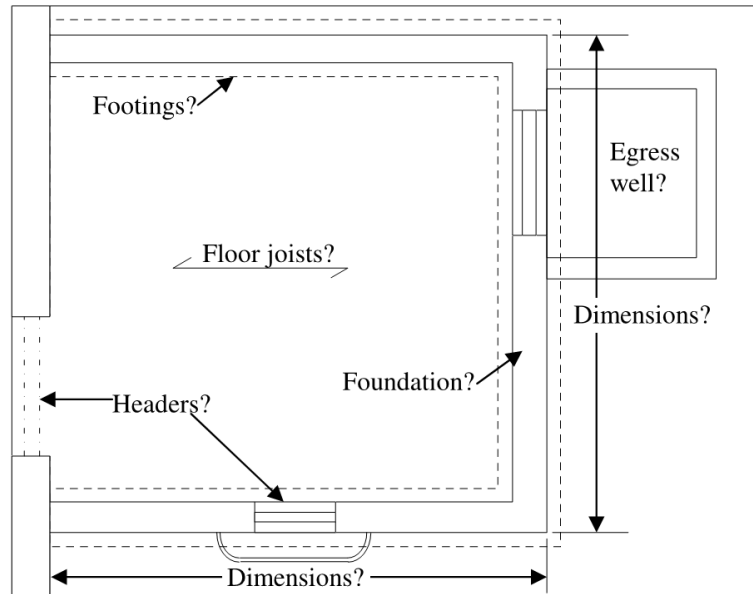
Elevations shall be included in addition plans and should show at the minimum the following items:

- Roof slope.
- Roofing material to be used.
- Roof vents. (Box or ridge)
- Typical overhang dimension.
- Siding material to be used.
- Window types. (i.e. double hung or casement)
- Height of structure from grade.

## Foundation Plan

Foundation plans shall be included in addition plans and should show at the minimum the following items:

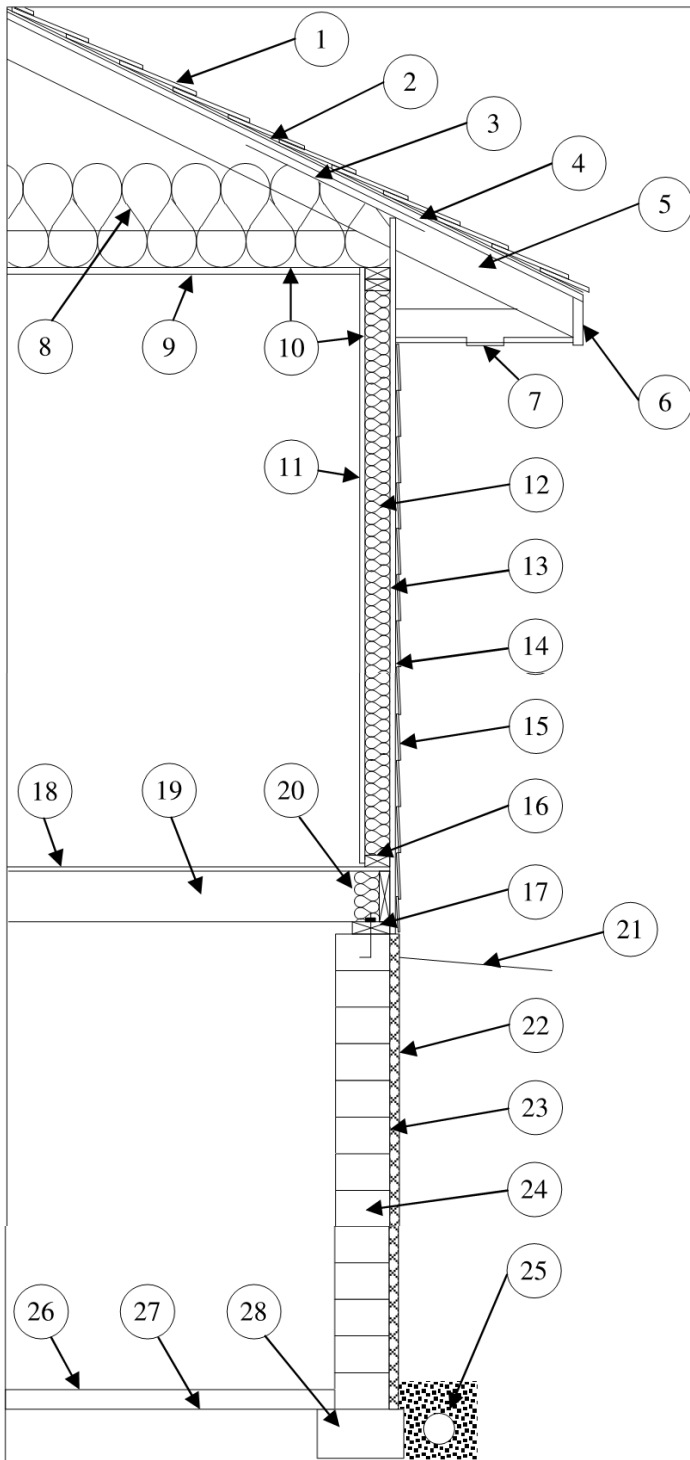
- Footing type and size.
- Foundation type, size and dimensions.
- Window locations.
- Headers or beam sizes.
- Floor framing above: type, size, spacing, and direction.
- Egress window wells.
- Basement finish layout if to be finished at this time.



## Floor Plans

Floor plans shall be included in addition plans and should show at the minimum the following items:

- Dimensions.
- Window locations.
- Fireplace if applicable.
- Header and beam sizes
- Roof framing type/direction. (i.e. Truss or Rafter)
- Girder locations if applicable.
- Show sections of existing to be demolished.
- Rooms labeled as to use.



1. Asphalt shingles or other roof covering.
2. Underlayment: min one layer 15# felt, or equivalent ASTM D 226 material slopes 4:12 or greater and 2 layers slopes 2:12 up to 4:12. Ice barrier: ASTM D 1970 product from eaves to 24 inches inside exterior wall line.
3. 1 inch air shoots from eaves to attic.
4. Roof sheathing.
5. Hand framed rafters of engineered truss.
6. Fascia Board.
7. Soffit vent.
8. Min R-38 attic insulation.
9. Gypsum ceiling.
10. 4 mil vapor barrier.
11. Gypsum wall board.
12. Min R-19 wall insulation.
13. Exterior wall sheathing.
14. Weather barrier. (building paper)
15. Exterior siding material.
16. 2x6 stud wall framing.
17. Sill plate connected to foundation with anchor bolts.
18. Subfloor.
19. Floor joists.
20. R-10 or R-19 rim insulation depending on energy code path, air sealed.
21. Grade.
22. Min R-10 rigid insulation.
23. Foundation waterproofing.
24. Foundation wall.
25. Exterior drain tile system.
26. Concrete slab.
27. Min 6 mil poly under slab.
28. Spread footing.

### **Section View**

Sample wall section shown. Materials, types and sizes are for example only and may be substituted with other code approved products. A typical wall section with materials to be used shall be provided in the construction plans with the permit application.